

WILLOWCREEK RANCH

COMMUNITY DEVELOPMENT GUIDELINES

9.19.17

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I. Introduction

The desirable architectural character and styles for the homes in Willowcreek Ranch are to be Classic: Historic Texas Hill Country, Tuscan /Mediterranean Style, French Country, Classic European.

With that said as the precedent and historical reference, it is the intent of the architectural design to provide sophistication and elegant design while maintaining a casual feel. Designs that are considered to be Modern or Contemporary will not be allowed.

The preferred exterior materials shall be natural stones, brick, stucco and a limited use of cementitious siding,. The choice roof materials shall be standing seam metal roofs, concrete tiles, slate in natural colors and architectural grade asphalt composition shingles.

The following Residential Architectural Guidelines (“Guidelines”) are presented as a minimum set of development standards for Willowcreek Ranch. The Guidelines are to provide the framework for essential community objectives to achieve an attractive and coordinated setting for the builders, owners and tenants. They are not intended to limit the creativity of the Builders in their design and construction as design diversity is encouraged.

These Guidelines are specifically for Approved Builders and the Architectural Review Committee (“ARC”) to ensure that each residence constructed meet the development standards. This would include home placement, fencing, driveways, etc., to allow a uniform flow to the community. The ARC will review each single family residential submittal prior to the construction phase. The ARC has the right to establish and enforce the Guidelines for Willowcreek Ranch.

Furthermore, any member of the ARC, Board, Declarant or authorized representative of shall have the right to enter upon and inspect a Lot and the exterior of the Improvements for purposes of ascertaining whether or not the provisions in the CCR’s and Guidelines are being complied with. Such persons shall not be deemed guilty of trespassing.

II. General Responsibilities

The Guidelines provide an overall framework and comprehensive set of standards and procedures for the development of the community in an orderly and cohesive manner. The standards set forth criteria for location of site improvements, landscaping, signage and lighting. In addition, the Guidelines establish a process for review of proposed construction to ensure that all sites within Willowcreek Ranch are developed with the consistency and quality intended for the development.

To the extent that the City of Houston, Texas ordinances, building code or regulation requires a more restrictive standard than the standards set forth in these Guidelines, the local government standards shall prevail. To the extent that any local government standard is less restrictive, the Guidelines shall prevail.

Main structure and accessory Buildings are subject to these Guideline requirements. Any improvements other than those referenced in these Guidelines must refer to the CCR's. Enclosed living areas mean a total enclosed floor area by measuring each level from the outside of the slab to the outside of the slab excluding garages, terraces, non-air conditioned storage areas, decks and porches.

All Custom Builders must be approved by the Willowcreek Ranch Architectural Review Committee (ARC). Each Builder is expected to improve and maintain its individual Lots in a neat and orderly fashion. Lot maintenance includes and is not limited to containment of debris, street cleaning, sand bags, and maintenance of silt fencing. As well as all drainage, including ditches must be cleaned, absent of water ponding and have free flowing water at end of construction. Builders are required to comply with respect to building setbacks and the orientation and placement of improvements including but not limited to driveways, sidewalks, dwelling units, detached garages, fencing and landscaping. Connections to utilities are the responsibility of the Builder.

These Guidelines are supplemental to the Declaration of Covenants, Conditions and Restrictions (CCR's) for Willowcreek Ranch and are to be used in the architectural review of Builder plans by the ARC. Building plans to include main structures and accessory buildings. Improvements other than those referenced in these Guidelines must refer to the CCR's. Non-compliance with these Guidelines is grounds for disapproval of plans by the ARC. The review and approval of plans constitutes conformance with the Guidelines and standards, and protective covenant and deed restrictions, but does not relieve the applicant from conformance to local, state and national codes, ordinances, and standards plus other design considerations not reviewed by the ARC. The Committee assumes no responsibility for structural integrity or for mechanical, electrical and civil design with review of the above. Pursuant to and in accordance with the Declaration, the ARC shall have the exclusive jurisdiction over the design, construction, modification, alteration, addition of all improvements Willowcreek Ranch with respect to their compliance with the architectural standards set forth in the Declaration, any dedicatory instrument or the Guidelines. The ARC has the right to amend the Guidelines from time to time at its sole discretion as stated in the CCR's.

Builder shall comply with and warrant compliance with any and all applicable building codes, and rules and regulations in effect within the jurisdiction of any governmental agency including but not limited to City, County, State, MUD and EPA, etc. Codes, rules and regulations of the City or other agency with jurisdiction over Willowcreek Ranch that exceed the requirements of these Guidelines shall supersede the Guidelines.

Failure to maintain Lots, construction debris, streets, inlets, sandbags, silt and construction fencing may result in Builders incurring fines by the Willowcreek Ranch Community Association, Inc., the Willowcreek Ranch Municipal Utility District or the ARC.

Disclaimer

Neither the Willowcreek Ranch Community Association or the members of the Residential Architectural Review Committee (ARC) or its representative, their successors or assigns, shall be liable for damages to anyone submitting plans to them for approval, or to any owner or lessee of any parcel affected by these restrictions, by reason of mistake in judgment, negligence or nonfeasance arising out of or in connection with the approval or disapproval or failure to Approve any plans submitted. Every person who submits plans to the ARC for approval agrees by submission of such plans, and every owner or lessee of any parcel within the property agrees, by acquiring title thereto or interest therein, that he will not bring any action or suit against Willowcreek Ranch, the members of the ARC, or its representatives, to recover any damages.

III. Site Plan Guidelines

A. General

Prior to the placement of any forms, the Builder must review the regulations required in this document and all corresponding City requirements for the specific Lot in order to verify all applicable requirements. It shall be the responsibility of the Builder to discover and become familiar with the corresponding City's building setback requirements in effect at the time issuance of a building permit.

B. Building Type:

1. **Main Structure:** Main residential dwelling
2. **Accessory Building:** Guest house, pool house, barn, etc.

C. Type of Lot

1. **Custom Lots:** Lots which are not allowed to have Horse/s on the Lot
2. **Custom Lake Lots:** Lots which side or back a Lake, are not allowed to have Horse/s on the Lot
3. **Custom Equestrian Lots:** Lots which are allowed to have a Horse/s on the Lot

D. Lot Locations

1. **Typical:** Lots that do not side a corner side street
2. **Corner:** Lots that side a corner side street

E. Building Setbacks

Building setbacks are established by the Developer. Setbacks are measured from the Lot Lines / HOA Easement / Drainage Easement, whichever is greater. Refer to the attached HOA Trail Easement for Lot Specific locations. Unless otherwise delineated on recorded plat, City, or otherwise specified the following minimum setbacks are required:

Custom & Lake Lots	
Front Building Setbacks	
Main Structure: Typical/Corner	50'
Accessory Building*	20' from Rear Elevation of Main Structure

Side Building Setbacks	
Interior Side: Main Structure/Accessory Building*	15'
Corner Side: Main Structure/Accessory Building*	35'

Rear Building Setbacks	
All Main Structure / Accessory Building*	25'
*Accessory Buildings PROHIBITED on Lake Lots	

Custom Equestrian Lots	
Front Building Setbacks	
Main Structure: Typical/Corner	75'
Accessory Building*	20' from Rear Elevation of Main Structure

Side Building Setbacks	
Interior Side: Main Structure/Accessory Building*	25'
Corner Side: Main Structure/Accessory Building*	35'

Rear Building Setbacks	
All Main Structure / Accessory Building*	50'
*Accessory Buildings PROHIBITED on Lake Lots	

F. Type of Structures

1. Single Family Custom Residence

- a. One per Lot
- b. Includes additional attached living quarters for domestic workers, nannies, etc.

2. Detached Garage

- a. Detached Garages must meet minimum Building Setback requirements.

3. Permanent Detached Accessory Buildings and Out-Buildings

- a. Living quarters for domestic workers, nannies, etc.
- b. Additional garage, barn, arena etc.

4. Temporary Structures

- a. Prohibited

G. Lot Consolidation

1. Adjacent Lots may be consolidated.
2. Consolidated Lots to be considered one (1) Lot.
3. Consolidated Custom Lots must follow Custom Lot requirements.
4. Consolidated Custom Equestrian Lots must follow Custom Equestrian Lot requirements.
5. No more than three (3) adjacent Lots may be consolidated.
 - a. Re-platting requirements must apply.
 - b. Building setbacks must follow the above requirements.
 - c. Building setbacks are from the resulting side property lines rather than the side lot lines indicated on the Plat.

H. Accessory Buildings and Out-Buildings

1. Accessory Buildings or Out-Buildings such as detached garages, guest houses, storage buildings, barns, arenas, garden/tool sheds, etc. are permitted.
2. Each building will be reviewed on a case by case basis and must have ARC approval.
3. **Custom Lots:** No more than two (2) permitted per Lot.
4. **Custom Lake Lots:** Prohibited
5. **Custom Equestrian Lots:** May have more than two (2) buildings with ARC approval

I. Garage Placement: (revised 8.23.17)

1. Must be within the Building Setbacks
2. Front Loaded Garages:
 - a. Garages facing the Front R.O.W.: Allowed with the following conditions
 - i. A ninety (90) degree angle, with ARC approval
 - ii. A Motor Court to screen Garage from public view. See Motor Court, page 16.
 - b. Corner Side Garages: Garages with Corner Side R.O.W. access
 - i. Must not face the Corner Side R.O.W.
 - ii. A ninety (90) degree angle required, with ARC approval

J. Driveways

1. Driveway Side Setbacks

- a. **Custom & Custom Lake Lots:** Minimum ten feet (10') from the side Lot Line / HOA Easement / Drainage Easement, whichever is greater
- b. **Custom Equestrian Lots:** Minimum twenty feet (20') from the side Lot Line / HOA Easement / Drainage Easement, whichever is greater

2. Decorative Front Driveway: Based on Recorded Drainage Easements, measured from the edge of the pavement to beyond the Front Property Line as listed below.

- a. **Sections 1 & 2:** Setback ten feet (10') beyond the Front Property Line
- b. **Section 3:** Setback twenty feet (20') beyond the Front Property Line
- c. **Sections 4 & 5:** Setback fifteen feet (15') beyond the Front Property Line
- d. **Section 7:** Setback forty feet (40') beyond the Front Property Line
- e. **Sections 8 & 9:** Setback twenty-five (25') beyond the Front Property Line
 - i. **Section 9/Lot 4/Block 1:** Setback thirty-five feet (35') from Front Property Line
- f. **Section 2R:**
 - i. **Rugged Lark:** Setback thirty feet (30') beyond the Front Property Line
 - ii. **Indigo:** Setback ten feet (10') beyond the Front Property Line
 - iii. **Royal King:** Setback ten feet (10') beyond the Front Property Line

3. Widths

- a. **Decorative Front Driveway**
 - i. **Custom & Custom Lake Lots:** Twelve feet (12') minimum to eighteen feet (18') maximum
 - ii. **Custom Equestrian Lots:** Twenty-two feet (16') maximum
- b. **Driveway beyond the Decorative Front Driveway to the Front Build Line**
 - i. **Custom & Custom Lake Lots:** Twelve feet (12') minimum to eighteen feet (18') maximum
 - ii. **Custom Equestrian Lots:** Twenty feet (22') maximum
- c. **Driveway beyond the Front Build Line to the garage** must have ARC approval for maximum width allowed.
- d. **Circular Driveways:** Must have ARC approval
 - i. **All Lots:** Must be no more than twenty feet (20') wide

4. Driveway Radius

- a. **Custom & Custom Lake Lots**
 - i. Five foot (5') radius is required
- b. **Custom Equestrian Lots**
 - i. Five foot (5') radius minimum
 - ii. Eight foot (8') radius maximum

5. Driveway Apron Width

- a. **Custom & Custom Lake Lots**
 - i. Twenty-two feet (22') minimum
 - ii. Twenty-eight feet (28') maximum
- b. **Custom Equestrian Lots**
 - i. Twenty-two feet (22') minimum
 - ii. Thirty-eight feet (38') maximum

6. Culvert

- a. All driveways must have a Developer approved Culvert between the Front Property Line and the pavement. See Culvert, page 17.

K. Waste/Recycle Receptacle Pad

1. Required for all Lots

- a. All Receptacles are required to be located adjacent to the Driveway, between the Culvert and the Front Fence line
- b. Two feet by six feet (2'x6')

L. Walkways

1. Walkways must lead from the front door of the elevation to the driveway
2. Walkways may not lead to the R.O.W.
3. Six feet (6') wide maximum

M. Safety Fencing

1. Additional vinyl-coated wire mesh fencing may be added to contain pets within Mid and Rear Yard fencing. With ARC approval.
2. Fencing Permitted:
 - a. Stay Tuff-Horse fence
 - b. All others must be submitted to the ARC for approval

N. Fencing Location

1. **Front Fencing:** All fencing which parallels the Front R.O.W. and is within the front of a Lot between the Front Building Line and the R.O.W. Must have adjoining Side fencing along Side Lot Lines.
 - a. **Custom Lake Lots:** Allowed
 - i. Front Fencing Setback: From the Front Property Line
 - a) Sections 1 & 2: Ten feet (10')
 - b) Section 3: Twenty feet (20')
 - c) Sections 4 & 5: Fifteen feet (15')
 - d) Section 2R:
 - Rugged Lark: Thirty feet (30')
 - Indigo: Ten feet (10')
 - Royal King: Ten feet (10')
 - b. **Custom Equestrian Lots:** Front Fencing required
 - i. Front Fencing Setback: From the Front Property Line
 - a) Sections 1 & 2: Ten feet (10')
 - b) Section 3: Twenty feet (20')
 - c) Sections 4 & 5: Fifteen feet (15')
 - d) Section 2R:
 - Rugged Lark: Thirty feet (30')
 - Indigo: Ten feet (10')
 - Royal King: Ten feet (10')

2. **Corner Lot Side Fencing:** Fencing which parallels the Corner Side Street R.O.W.
 - a. Required for ALL Corner Lots: All Lots fronting Willow Creek Ranch Road, all Lots siding 3 Bar
 - i. Corner Side Fencing Setback: On the Corner Side R.O.W.
 - a) Located on the Corner Side R.O.W. or back of drainage easement, whichever is greater
 - b) From Rear Lot Line / HOA Easement, whichever is greater, to Front Fencing Setback. See above.
 - i) Corner Side Fences siding 3 Bar must be setback five feet (5') from the closest corner of the Front Elevation, for Lots without a Front Fence facing the Front R.O.W.
3. **Side Yard Fencing:** Fencing along the Side Property Line between two adjoining Lots
 - a. **Custom & Custom Lake Lots**
 - i. Allowed
 - ii. Side Fence Setback: From the Front R.O.W.
 - a) From the Front Fencing Setback, see above, to the Rear Lot Line / HOA Easement, whichever is greater
 - b. **Custom Equestrian Lots**
 - i. Required: Must have ARC approval for type
 - c. **HOA Easement:** Lots siding designated HOA Easements
 - i. Required
 - ii. Setback:
 - a) Must be setback seven feet (7') from the Side Lot Line / HOA Easement, whichever is greater
4. **Interior Front Fence:** Fencing which parallels the Front R.O.W. and is located between the Front Build Line and Rear Corner of the Rear Elevation
 - a. May be used to distinguish the Front Yard from the Back Yard
 - i. Setback:
 - a) Must be no closer than the front corner of the Front Elevation
5. **Mid Yard Fence:** Fencing which parallels the Front R.O.W. and is located between the Front Building Line and Rear Building Line.
 - a. May be used for the purpose to contain small pets.
 - i. Setback:
 - a) Must be located behind the Interior Front Fence
 - b) Must be no close than the front corner of the structure
6. **Rear Lot Fencing:** Fencing located on the Rear Lot Line. Unless otherwise stated below.
 - a. **Custom Lots**
 - i. Allowed, with ARC approval
 - b. **Custom Lake Lots**
 - i. Allowed, with ARC approval
 - ii. Must be no closer than twenty-five feet (25') to the Rear Lot Line
 - c. **Custom Equestrian Lots**
 - i. Required
 - d. **HOA Easement Lots:** Lots that back to designated HOA Easements
 - i. Required
 - ii. Setback:
 - a) Must be setback twenty-five feet (25') from the Rear Lot Line / HOA Easement, whichever is greater

7. **Interior Lot Fence:** Pool/Pet, etc. fencing within a Lot with 4 Rail Fencing
 - a. **Corner Lots:** Corner Side of the Lot
 - i. Allowed
 - ii. Must be no closer than the Corner Side Building Line
 - b. **HOA Easement Lots:** Easement Side of the Lot
 - i. Allowed
 - ii. Must be no closer than the Building Line
8. **Rear Lot Fencing:** Fencing located on the Rear Lot Line. Unless otherwise stated below

O. Finished Floor

- a. **Flood Plain:** As required by Harris County
- b. **Non-Flood Plain:** Twelve inches (12") above street pavement

P. Grading, Drainage, Berms

1. General

Positive drainage away from the housing structure shall be provided for rainfall, gutter downspouts, irrigation, air conditioner condensate and all other types of water runoff. Caution should be used in establishing the foundation elevation so that driveways, slabs or insufficient fall does not impair adequate drainage of the Lot.

- a. **FHA TYPE "A" LOT GRADING-** The Lot has a ridge along Common rear Lot lines and each Lot is graded to drain storm water directly to the street.
- b. **FHA TYPE "B" LOT GRADING-** The Lot has a ridge at the rear of the main house structure from which the Lot is graded to drain storm water in the front of the Lot directly to the street independent of other properties. The rest of the Lot shall drain the storm water in the rear half of the Lot to the rear of the Lot.

Q. Wells

1. Water wells are permitted on a Lot
2. Must comply with all government standards and requirements
3. Water wells must be concrete encased and placed within the build line of a Lot
 - a. Must not impact neighboring properties
4. Any enclosure of and exterior equipment relating to the water well are subject to ARC approval.

R. Septic System

1. Per Harris County Specifications
 - a. Must not impact neighboring properties

S. Propane Tanks

1. Prohibited

IV. Architectural Guidelines

These Guidelines allow for diversity while enforcing the architectural integrity of the whole community. Each Custom Home must represent the Historic Texas Hill Country, Tuscan /Mediterranean Style, French Country, Classic European. Designs lacking such character, style and articulation are strongly discouraged and may not be Approved by the ARC. Equal priority must be given to the rear and sides of a residence that may be within view of the R.O.W., Walking/Riding Trail and common areas. Architectural Guidelines are to establish basic criteria for the construction of residences, garages and other structures. Construction materials must be of the highest quality in order to insure well-crafted residences. Plans utilized may not be duplicated for the construction of the same, or substantially similar Custom Home on any other Lot in WCR without consent from the Owner of the originally constructed Custom Home and the ARC. The ARC shall have exclusive authority to determine whether Plans for a Residential Dwelling to be constructed on a Lot are substantially similar to the plans used to construct a Residential Dwelling on another Lot and its determination shall be conclusive and binding on all parties.

A. Square Footage Minimum

1. Main Residence (revised 7.24.17)

Custom /Custom Lake Lot	
1 Story	3500 Minimum
2 Story	4000 Minimum (3000 first floor minimum)

Custom Equestrian Lot	
1 Story	4000 Minimum
2 Story	5000 Minimum (3000 first floor minimum)

2. Additional Living Quarters

All Lots	
500 Minimum	1500 Maximum

3. Unattached Structures

All Lots	
Must have ARC Approval	5000 Maximum

B. Plan Height

1. No Residential Dwelling shall have more than two (2) stories of living space above finished grade, except in a third (3rd) story of living space contained within the volume defined by the roof plans, provided that it not exceed forty-five feet (45') above grade.
2. No garage or improvement shall exceed the height of the Residential Dwelling.

C. Plan Width

1. **Custom / Custom Lake Lots:** Minimum ninety feet wide (90')
2. **Custom Equestrian:** Minimum one-hundred and ten feet wide (110')

D. Plan Repetition

1. No Plan Repetition

E. Masonry Requirements

1. **Main Dwelling:** One hundred percent (100%) masonry
2. **Garage:** One hundred percent (100%) masonry
3. **Accessory Buildings:** Must have ARC approval

F. Exterior Material

1. **Masonry:** Masonry is considered brick, stucco or stone.
 - a. **Brick**
 - i. Must meet the standard specifications established by the Brick Institute of America
 - ii. Prohibited: Brick and Stone must not be on the Same Plane
 - b. **Stucco**
 - i. Cementitious-based or acrylic-based stucco is permitted with ARC approval.
 - ii. Quality and installation must meet cement and Plaster Institute minimum standards.
 - iii. Prohibited: FIS, Dryvet, unapproved stucco systems
 - iv. Prohibited: One-hundred percent (100%) Stucco
 - c. **Stone**
 - i. Natural quarried or cultured stone is acceptable. Must receive ARC approval.
 - ii. Prohibited: Stone and Brick must not be on the Same Plane
 - d. **Prohibited**
 - i. Concrete block or cinder block
2. **Wood**
 - a. All wood must be painted, stained or treated.
 - b. Stained wood must be sealed.
 - c. Hardieplank is not considered wood.
 - d. Prohibited: Natural weathered-wood
3. **Wood Trim**
 - a. All wood trim must be high quality milled finish-grade stock, stained or painted.
 - b. The use of MDO (Medium Density Overlay) will be allowed.
 - c. Must receive ARC approval
4. **Siding**
 - a. Hardieplank siding, Hardie stucco board other approved cementitious fiber material
 - i. May be up to twenty-five feet (25%) of each elevation with ARC approval.
 - b. Prohibited Siding: Plywood siding, Board and Batten, metal, aluminum, wood or vinyl siding
5. **Metal**
 - a. Bronze or copper, standing seam.
 - b. Must receive ARC approval
6. **Accents**
 - a. Exposed metals must be anodized aluminum, bronze, copper or painted galvanized steel.
 - b. Ornamental wrought iron

G. Shirt Fronting

1. Material changes shall not occur at the front outside corner of a home.
 - a. This technique of "shirt fronting" masonry is Prohibited. See exhibit below.
2. Second floor masonry material must wrap a minimum of two feet (2') around the side elevation and must meet the minimum percentage for second floor masonry requirement.



Prohibited

H. Masonry Repetition

1. Same color *group* masonry, stone or stucco may not be immediately adjacent to or directly across the street from one another.
2. Using the *same* brick, stone or stucco color more than twice within a four (4) house block is Prohibited.
3. Accent stone or tile may occur only once within a four (4) house block.
4. Must have ARC approval.

Brick A		Brick A		Stone B	Scheme 1	Stucco C	
Scheme 1	Brick A		Stone B		Stone B		Stucco C

I. Exterior Colors

1. General

- a. Earth tones and forest tones are required.
- b. **Wood Stain:** Considered a color
- c. **Brick:**
 - i. Solid white bricks are Prohibited
 - ii. Red brick allowed with ARC approval
- d. **Stone:** Flagstone with dark and light color design combinations are Prohibited.
- e. **Paint:** Colors must harmonize and complement the masonry material(s).
 - i. Pastel, white, bright or primary colors are Prohibited, unless used on doors or shutters with ARC approval.
- f. All Exterior Selections must have ARC approval

J. Accessory Buildings

1. Type of Buildings:

- a. Detached Garages (located more than fifteen feet (15') from the main dwelling), guest houses, storage buildings, barns, garden/tool shed, workshops, etc.
 - i. **Custom Lot:** One building
 - ii. **Custom Lake Lot:** Prohibited
 - iii. **Custom Equestrian Lots:** Two buildings. with ARC approval.
 - iv. Additional buildings for Consolidated Lots require ARC approval.
 - v. Must match the architectural style and character of the house
- b. **Barns:** See Barn Examples
 - i. Custom & Custom Lake Lots: Prohibited
 - ii. Custom Equestrian Lots: Allowed
 - a) Must have ARC approval for square footage, style, color, placement.
 - b) Built on-site on a permanent foundation (cement slab, piers or other structurally sound foundation).
 - c) Minimum roof pitch of 6:12
 - d) Must match the architectural style an character of the house

K. Windows

1. Materials

- a. Vinyl, double paned windows or higher quality must be used.
 - i. Bronze, white, black, taupe or natural wood finishes allowed
- b. Aluminum, double paned windows may be allowed with ARC approval
 - i. Bronze or black only
 - ii. Prohibited: Clear anodized aluminum
- c. Metal window finishes must complement the architectural style and color of the home.
- d. Prohibited: Clear anodized aluminum

2. Tinting

- a. Encouraged for energy conservation purposes
- b. Must receive ARC approval
- c. Tinting encouraged for bathroom windows facing streets or public view.

3. Prohibited

- a. Bronze, reflective glass, mirrored glazing or tinting, burglar or security bars on windows or doors, awnings
- b. Burglar bars or doors shall not be permitted on the exterior of any windows or doors.

L. Front Entry and Doorways

- 1. Front entries with wide openings, iron accents, flat arches over front entries and doorways are preferred.
- 2. Decorative doors are encouraged.
- 3. Aluminum or metal storm doors with glass and screen doors are Prohibited on front or side elevations where visible within public view.

M. Chimneys

- 1. Can be used to establish an ornamental or thematic direction.
- 2. Massive chimneys are encouraged, small spindly shapes will not be approved.
- 3. **Materials**
 - a. Chimneys must be constructed of materials that match and complement the architectural style of the home.
 - b. Must be one-hundred percent (100%) masonry
 - i. Siding Prohibited
 - c. Prohibited: Cantilevered chimneys
- 4. **Chimney caps**
 - a. Fireplaces using metal spark arrestor or other metal venting apparatus at top of chimney must have painted metal cowl surrounding installed atop the chimney.
 - b. All metal or other materials placed on top or around chimney must be painted the same color as chimney material.
- 5. **Gas Fireplaces**
 - a. Direct vents are permitted if not visible within public view.

N. Roofs

- 1. **General:**
 - a. Strong gables are encouraged
 - b. Prohibited: Dutch/French hips, flat roofs, mansard roofs
 - c. Garage and Breezeway roofs must be the same materials as the main house.
 - d. Accessory Building roofs must match the main house or have ARC approval.
- 2. **Materials**
 - a. **Shingles:** Required for Custom Lots
 - i. Fifty (50) year high definition shingles, fiberglass composition
 - ii. Wood shingles are Prohibited
 - iii. Color Permitted: Dark browns or dark grays. All other colors must have ARC approval
 - iv. Colors Prohibited: Light brown, light gray, blue, white, red, green
 - b. **Tile:** Preferred for Custom Equestrian Lots

- i. Twenty-five (25) year clay tile
 - ii. Color: Must have ARC approval
- c. **Slate:** Preferred for Custom Equestrian Lots
 - i. Color: Must have ARC approval
- d. **Metal:** Preferred for Custom Equestrian Lots
 - i. Galvanized standing seam metal. Must have ARC approval
 - ii. Bronze, copper and galvanized standing seam metal roofing for Bay windows and porches is encouraged.
 - iii. Colors: Must have ARC approval
 - a) Prohibited: Reflective or silver
 - iv. All other exposed roof metal must be located to the rear or side slopes, away from public view and painted to match the roof color.
 - v. Prohibited: Corrugated tin

3. Roof Pitches

- a. Roof pitches must be a minimum of:
 - i. **Home:**
 - a) 6:12 minimum
 - b) Greater pitches are preferred
 - ii. **Porches, bay windows, dormers:**
 - a) 3:12 minimum

4. Roof Top Accessories

Antennas, towers, satellite dishes or similar devices for receiving and/or sending signals are permitted. Placement must be in the least obtrusive location, no higher than the highest point of the rear line of the residence and must not be visible from the street. Must receive ARC approval for placement.

a. Skylights

- i. Must be integrated with the roof design, parallel to the roof pitch.
- ii. Framing must match the roof color.
- iii. Must receive ARC approval for placement.

b. Solar Collectors

- i. Solar collectors must not be placed within public view.
- ii. Must receive ARC approval for placement.

- c. **Plumbing or heating vents,** stacks, gutters, flashing, or other projections must be placed out of street or public view if at all possible and must be painted to match roof material.

O. Garages

1. Detached Garages must match the architectural style and be the same materials as the home.
2. Porto Cocheres must be the same materials as the home.
3. Prohibited: Carports

P. Garage Doors

1. General

- a. All garage doors must be metal or wood with paneled design that matches the architectural style of the home.
- b. Decorative Garage Doors are preferred.
- c. Must not face the Front R.O.W.

- d. Maximum height of eight feet (8') with a maximum double door width of twenty feet (20'). Unless otherwise approved by ARC.
- e. All Garage Doors must be separated by a twelve inch (12") column.

Q. Motor Courts

1. General

- a. Motor Courts required to screen Front Loaded Garage bays from Front R.O.W. view, that do not have a ninety (90) degree angle.
- b. Additional elements for style, balance, articulation and general esthetics may be required by the ARC.

2. Location:

- a. Lead from the front elevation of the home and Front Loaded Garage
- b. No further than 10' from the Front Building Setback, to the Front Property Line.

3. Fencing:

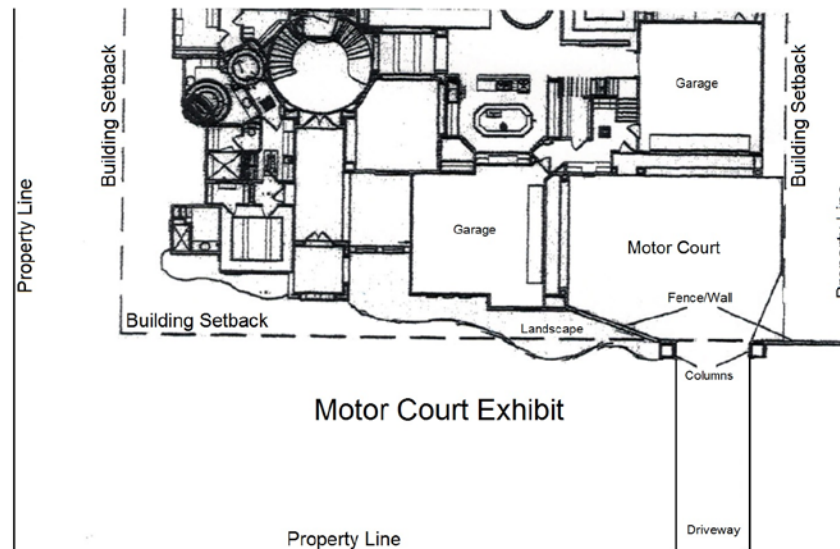
- a. Split Four Rail fence
 - i. Four foot (4')
 - ii. Painted with required paint
- b. Masonry wall, with ARC approval
 - i. Must match the masonry material if the main structure
- c. Must lead from the main structure to masonry columns

4. Columns:

- a. One (1) column on each side of the driveway to connect to fence or wall.
- b. No less than one foot (1') taller than fence or wall
- c. Must match the masonry material of the main structure

5. Screening:

- a. Landscape screen required to screen fence or wall.
 - i. Must be a continuation of the front landscape planting bed



R. Driveways

1. General

- a. Meandering driveways are preferred
- b. Decorative materials must have ARC approval.
- c. Must ARC approval size and location

2. Materials

- a. Decorative Front Driveway: (See page 5 J.) Required for the Front Thirty-Five feet (35')
- b. Driveway between the Decorative Front Driveway and the Front Build Line must be cement and may be decorative materials, with ARC approval.
- c. Driveways beyond the Front Build Line may be asphalt paving, loose gravel, stone, etc. with ARC Approval.
- d. Material: Must have ARC approval
 - i. Decorative Material:
 - a) Stamped and stained concrete
 - b) Pavers
 - c) Flagstone
 - ii. Prohibited Material:
 - a) Asphalt paving, loose gravel, stone, timber borders are prohibited
- 3. Driveway approach with a concrete culvert and temporary construction roadway material such as crushed concrete or other temporary hard surface must be installed prior to any other construction activity on the Lot and shall be used as the temporary entrance to the property for construction of the residence.

S. Culvert Design

- 1. Design and material must be submitted for ARC approval.
 - i. Preferred Contractor: Beyond Landscape
- 2. Design must extend from top of bank to top of bank on each side of the culvert
- 3. Must be a design similar to below:
 - i. Preferred Design:



ii. Deep Culvert Design:



iii. Shallow Culvert Design:



T. Waste/Recycle Receptacle Area

1. Required for all Lots

a. Materials

- i. Same design as the adjoining Driveway
- ii. Other materials must have ARC approval\

U. Walkways

1. General

- a. Decorative walkways are preferred
- b. Decorative materials must have ARC approval.

2. Materials

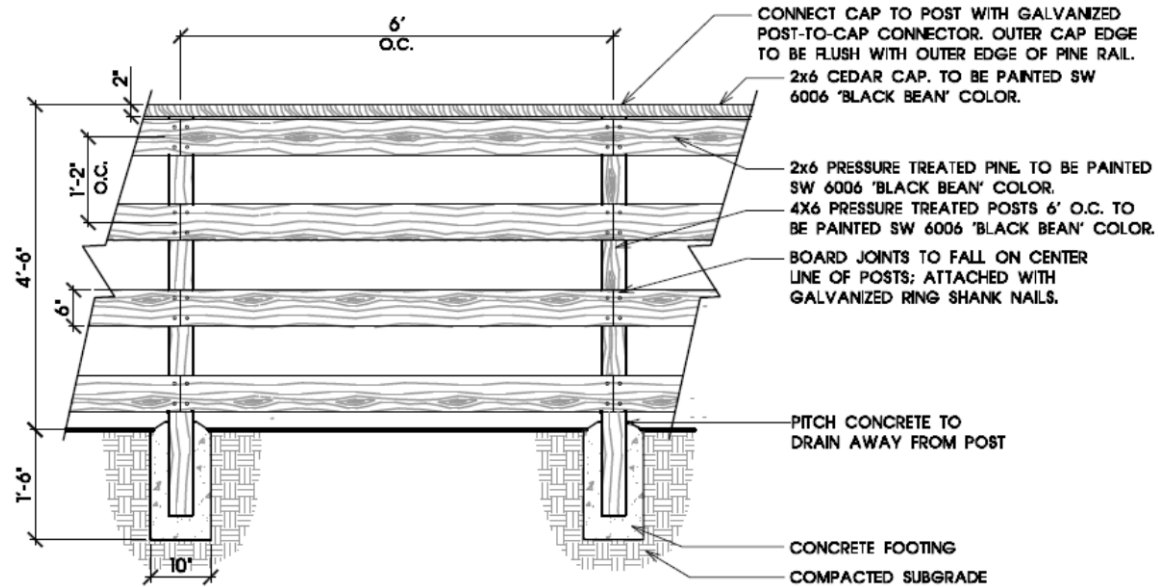
- a. Concrete required for all walkways
- b. Decorative paving, stone or brick, stamped or colored concrete, interlocking pavers, brick pavers or brick borders and all other accent materials must match the exterior of the home.

V. Fencing

1. Types Allowed

a. Split Four Rail

- i. Four and one half feet (4.5')
- b. All fencing must be painted Sherwin Williams 6006, Black Bean



c. Steel

- i. Five feet (5') tall
- ii. Black Powder Coated



d. Centaur Horse Fence

- i. **Type:** Centaur HTP 5" rail
- ii. **Height:** 5'
- iii. **Posts:** 6"-8" painted Sherwin Williams 6006, Black Bean
- iv. **Color:** Brown



e. Stay Tuff Horse Tuff

- i. **Type:** 1348-3
- ii. **Height:** 4'

f. All Others: Must be submitted to ARC for approval

2. Front Fencing

a. Custom Lots: Allowed with ARC approval

- i. Split Four Rail & painted

b. Custom Lake Lots: Allowed with ARC approval

- i. Steel

c. Custom Equestrian Lots: Required

- i. Split Four Rail & painted

d. Willowcreek Ranch Road: Required on All Lots Fronting Willowcreek Ranch Road

- i. Split Four Rail & painted

e. 3 Bar Road: Required on All Lots siding 3 Bar Road

- i. Split Four Rail & painted

3. Corner Lot fencing

a. Required for all Corner Lots

b. Split Four Rail & painted:

- i. Corner Side Fence and Front Fence Return

4. **Side Yard Fencing:** Fencing along the Side Property Line between two adjoining Lots
 - a. **Custom Lake Lots**
 - i. Allowed
 - ii. Type: Must have ARC Approval
 - a) Five foot (5') steel
 - b. **Custom Equestrian Lots**
 - i. Required: Must have ARC approval for type
 - ii. Types Allowed: Must have ARC approval
 - a) Split Four Rail & painted
 - b) Centaur Horse Fence: 4 rail, five foot (5')
 - c. **Sections 1, 4, 7:**
 - i. Split Four Rail & painted: All 4 sides
 - d. **HOA Easement:** Lots siding designated HOA Easements
 - i. Required
 - ii. Types Allowed: Must have ARC approval
 - a) Split Four Rail & painted
 - b) Centaur Horse Fence: 4 rail, five foot (5')
5. **Interior Front Fence:** Fencing which parallels the Front R.O.W. and is located between the Front Build Line and Rear Corner of the Rear Elevation
 - a. May be used to distinguish the Front Yard from the Back Yard Type Allowed: Must have ARC approval
 - i. Split Four Rail & painted
6. **Mid Yard Fence:** Fencing which parallels the Front R.O.W. and is located between the Front Building Line and Rear Building Line.
 - a. May be used behind Split Four Rail for the purpose to contain small pets.
 - i. Type Allowed: Must have ARC approval
7. **Rear Lot Fencing:** Fencing located on the Rear Lot Line. Unless otherwise stated below.
 - a. **Custom Lake Lots**
 - i. Allowed with ARC approval
 - ii. Type: Must have ARC approval
 - a) Five foot (5') steel
 - b. **Custom Equestrian Lots**
 - i. Required
 - ii. Types Allowed: Must have ARC approval
 - a) Split Four Rail & painted
 - b) Centaur Horse Fence: Four (4) rail, five foot (5')
 - c. **HOA Easement:** Lots that back to designated HOA Easements
 - i. Required
 - ii. **Custom Lot**
 - a) Type Required: Split Four Rail & painted
 - iii. **Custom Equestrian Lots**
 - a) Types Allowed:
 - 1) Split Four Rail & painted
 - 2) Centaur Horse Fence: Four (4) rail, five foot (5')

8. Interior Lot Fence: Pool/Pet, etc. fencing within a Lot with 4 Rail Fencing

a. Corner Lots: Corner Side of the Lot

- i. Allowed
- ii. Types Allowed: Must have ARC approval

b. HOA Easement Lots: Easement Side of the Lot

- i. Allowed
- ii. Types Allowed: Must have ARC approval

V. Gates

1. Pedestrian Gates

- a. Allowed on Mid Yard fences, Lots siding or backing the Walking/Riding Trail/Lake
- b. Prohibited on Corner side of any Lot
- c. Gates must be same material as the fence.

2. Driveway Gates

- a. Must have ARC approval for design and placement

W. Breezeways

- 1. Must match the architectural character and style of the house, barn, garage or accessory building that the Breezeway is attached to.
- 2. Breezeway Fencing may be steel, masonry or wood.
- 3. Must have ARC approval

X. Foundation

- 1. No more than six inches (6”) of vertical surface of the concrete slab shall be exposed to view from the street.
- 2. Exposed foundation must be screened. See Landscape Guidelines.
- 3. No concrete, concrete block or cinderblock shall be used as an exposed building surface.
- 4. Any concrete, concrete block or cinder block utilized in the construction of a Residential Dwelling or other improvement or for retaining walls and foundation shall be finished in the same materials utilized for the reminder of the Residential Dwelling or other improvement.

Y. Plate Height

- 1. Required:
 - a. Ten foot (10’) minimum Exterior first floor Plate Height is required
 - b. Nine foot (9’) minimum Garage Plate Heights

Z. Lighting

1. General

- a. All exterior lighting must be approved by the ARC for type, location and illumination.
- b. Colored lighting, high intensity lighting such as Mercury vapor, “spill over” lighting (onto neighboring yards, other properties, streets or public spaces), exposed transformers and wiring are all Prohibited.
- c. Mercury vapor, high pressure sodium lights are allowed provided that they are not placed in front of the residence or are sited as to spill over into adjoining Lots, face another Lot or public rights of way.
- d. Prohibited: Colored lenses on low voltage lights, colored light bulbs and florescent and neon lighting

- e. Cast aluminum or brass fixtures are permitted.
- f. No lighting shall be directed toward another Lot or illuminate beyond the boundaries of the Lot on which the lighting fixture is situated.
- g. Security lighting shall be no higher than twenty-five feet (25') above surrounding ground
- h. Free standing decorative fixtures and lamp posts are acceptable with ARC approval.
- i. Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable with ARC approval.
- j. Pathway and landscape lighting is encouraged, such lighting must be inconspicuous.

AA.Screening

- 1. All heating, A/C, mechanical and pool equipment, meters and pedestals must be screened with landscaping or fencing from public view.
- 2. All exposed foundation within public view must be screened. See Landscape Guidelines.

BB.Address Marker

- 1. Address boulder marker required.
 - a. Supplied by Developer approved distributor:
 Stone Creations of Texas
 15734 FM 2920 Road
 Tomball, TX 77377
 281-541-5276
 rchclee@yahoo.com
 Christine Lee, Owner
- 2. All other street numbers displayed on a Lot must be approved by the ARC
- 3. Location:
 - a. Left or right side of driveway
 - b. Two feet (2') from back of street pavement



CC.Builder Signage

- 1. Preferred Builders are allowed on per Lot per Developer Standards.



- 2. Bandit signs and banners are Prohibited.

V. Landscape Guidelines

A. General

Landscape Guidelines provide the minimum requirements for site improvements. Combination of Native Texas trees, shrubs, ground covers and grasses from the Preferred Plant list. Corner Lot landscaping will also follow the Preferred Plant List.

Plant proportions shall be those recognized and recommended by the American Standard for Nursery Stock. Installation of all plants must conform to the standards of the American Association of Nurserymen. A plant is considered dead if at least 50% of its growth is dead or fails to make new growth from a dormant stage. All replacements must conform to the original Landscape Guidelines. The ARC reserves the right to require the builder to replace plants that do not meet these requirements.

B. Existing trees and vegetation:

1. Landscape buffer of existing trees must be kept along front, side, and rear Property Lines
 - a. Custom & Custom Lake Lots: Ten foot (10') landscape buffer
 - b. Custom Equestrian Lots: Twenty foot (20') landscape buffer
2. No trees with a caliper of eight inches (8") or more, within seven and one half feet (7'6") from the foundation and garage, shall be removed without ARC approval.
3. Lots with no existing trees will require additional trees to be planted.

C. Landscape Plan per Lot:

A Landscape Plan for each Lot must be submitted for ARC approval.

All Landscape Plans must meet or exceed Minimal Landscape Plan.

1. Front Yard:

- a. Planting beds shall be curvilinear with the plants in massings.
- b. See Minimum Front Yard Requirements.

2. Visible Rear Yard: Rear yards backing or siding a boulevard or collector road, or are visible within public view.

- a. Planting beds shall be curvilinear with the plants in massings.
- b. See Minimum Rear Yard Requirements.

3. Corner Lot: Lots whose side yards face a street.

- a. Plantings shall be in clusters along fence facing the street.
- b. See Corner Lot / Landscape Buffer Requirements.

D. Sod: (revised 8.23.17)

1. Types allowed:

- a. Bermuda
 - i. Required for all R.O.W. and community drainage areas
 - ii. Allowed for all Lots
- b. St Augustine:
 - i. Allowed for all Lots
 - ii. Steel landscape edging, such as Ryerson steel edging or similar barrier, required to prevent St. Augustine from running into R.O.W. or adjacent Lots.

2. Hydro mulch:
 - a. Rear Pasture ONLY
3. All other sod types are PROHIBITED
4. Locations:
 - a. Custom and Lake Lots:
 - i. Front yards
 - ii. Visible Side and Rear yards
 - iii. Yards that abut a R.O.W.
 - b. Custom Equestrian:
 - i. Front yards
 - ii. Rear yard: From the rear foundation to a minimum of twenty-five feet (25')
 - iii. Yards that abut a R.O.W.
 - c. R.O.W.:
 - i. Required to be Bermuda

E. Planting Beds

1. **General**
 - a. Planting beds must be a minimum of five feet (5') from front elevation toward the Front R.O.W.
 - b. Mulch is required along with minimum Landscape Requirements.
2. **Edging**
 - a. Ryerson steel edging (or similar), brick set in mortar or natural stone are permitted.
 - b. Plastic, loose brick, concrete scallop, corrugated aluminum or plastic, wire wickets, railroad ties or timbers, wire or small picket fencing, continuous concrete bands are Prohibited edging.
3. **Landscape Rocks**
 - a. Landscape rocks or similar hardscape may be incorporated into front and rear yard landscape with ARC approval.
 - b. Solid rock yard or similar type of hardscape in the front yard, or side yard visible from the street is Prohibited.
4. **Mulch**
 - a. All planting beds must be mulched.
 - b. All mulch must be hardwood.
 - c. Colors other than black and brown must receive ARC approval.
 - d. Gravel or rock must have ARC approval.
 - e. Red mulch is Prohibited.

F. Screening

1. **Foundation**
 - a. All front foundation visible within public view must be screened with evergreen landscape.
 - b. Corner Lot side foundation facing the street must be screened with evergreen landscape.
2. **Mechanical Equipment**
 - a. All mechanical equipment such as air conditioning units, utility pedestals, meters, transformers, pool equipment, etc. must not be within public view.
 - b. Equipment not able to be placed out of public view must be screened with evergreen shrubs.
 - c. See Preferred Plant List for screening options.

G. Irrigation

1. All Front, Corner Side and Rear yards that are visible within public view
 - a. Front Yard: To include all area from front of home to the Street Pavement

H. Rain Barrels and Rain Harvesting Systems: Section 202.007 of the Texas Property Code provides that a property owners' association may not enforce a provision in a dedicatory instrument that prohibits or restricts a property Owner from installing rain barrels or a rain harvesting system on the property Owner's Lot. However, Section 202.007 of the Texas Property Code further provides that a property owners' association is not required to permit a rain barrel or rainwater harvesting system to be installed on a Lot in particular circumstances or restricted from regulating rain barrels and rain harvesting devices in specified manners.

The following Guidelines shall be applicable to rain barrels and rain harvesting systems in Willowcreek Ranch:

1. **ARC Approval.** In order to confirm the proposed rain barrel or rain harvesting device is in compliance with these Guidelines, Owners are encouraged to apply to the ARC for prior approval. The Association may require an Owner to remove a rain barrel or rain harvesting device that does not comply with requirements of these Guidelines.
2. **Location.** A rain barrel/harvesting system is not permitted on a Lot between the front Elevation of the Lot and an adjacent street.
3. **Color and Display:** A rain barrel or rain harvesting system is not permitted:
 - a. unless the color of the rain barrel or rain harvesting system is consistent with the color scheme of the Residential Dwelling on the Owner's Lot; or
 - b. if the rain barrel or rain harvesting system displays any language or other content that is not typically displayed by the rain barrel or rain harvesting system as it is manufactured.
4. **Regulations if Visible.** If a rain barrel or rain harvesting system is located on the side of the Residential Dwelling on the Lot or at any other location on the Lot that is visible from a street, another Lot, or Common Area, the rain barrel or rain harvesting system must comply with the following regulations:
 - a. **Rain Barrel:**
 - i. Size: A maximum height of forty-two (42) inches and a maximum capacity of fifty (50) gallons.
 - ii. Type: A rain barrel that has the appearance of an authentic barrel and is either entirely round or has a flat back to fit flush against a wall. A rain barrel must have a manufactured top or cap to prevent or deter the breeding of mosquitoes.
 - iii. Materials: Wood, metal, polyethylene or plastic resin designed to look like an authentic barrel in brown or earth tone color.
 - iv. Screening: The rain barrel must be screened with evergreen landscaping to minimize its visibility from a street, another Lot, and Common Area, unless otherwise approved in writing by the ARC.
 - v. Downspout: The downspout which provides water to the rain barrel must be the same color and material as the gutters on the Residential Dwelling. Further, the downspout must be vertical and attached to the wall against which the rain barrel is located.
 - b. **Rain Harvesting System:** A rain harvesting system must collect and store the water underground. The portion of a rain harvesting system that is above-ground must appear to be a landscape or water feature. The above-ground portion of the rain harvesting system shall not extend above the surface of the ground by more than thirty-six (36) inches. The above-ground portion of the rain harvesting system must be screened with evergreen landscaping to minimize visibility from a street, another Lot, and Common Area, unless otherwise approved in writing by the ARC. Provided that, the regulations in this Section 2.4 shall be applicable only to the extent that they do not prohibit the economic installation of the rain barrel or rain harvesting system on the Lot and there is a reasonably sufficient area on the Lot in which to install the rain barrel or rain harvesting system.
5. **Maintenance:** A rain barrel or rain harvesting system must be properly maintained at all times; if not properly maintained, the rain barrel or rain harvesting system shall be removed.

I. Minimal Landscape Requirements

Front Yard Landscape for All Lots	
Yard Tree* (measured 12" above grade)	Three 4" caliper Oak Trees (planted a minimum of 10' from R.O.W.)
	Three (6") caliper Hardwood trees to be planted for Lots with no existing trees
30 Gallon Ornamental Tree	2
15 Gallon Shrubs	3
5 Gallon Shrubs	25
3 Gallon Plants	45
Foundation and Equipment Screening**	Evergreen Shrubs
*One existing natural tree may be used to count toward Yard Tree requirements. Trees must be in good health, must be located in comparable locations to meet the general location for yard trees and must receive ARC approval.	
Palm trees are prohibited within public view. Palms planted must have a mature height of not more than twenty feet (20').	
May increase 5 gal. and decrease 3 gal. shrubs. See Preferred Plant List= Shrubs.	
**Foundation facing the R.O.W. must be screened. To include but not limited to Garages.	

Rear Yard Landscape for Lake Lots	
Yard Tree* (measured 12" above grade)	Two 3" caliper Oak Trees
30 Gallon Ornamental Tree	3
15 Gallon Shrubs	3
5 Gallon Shrubs	15
1 Gallon Plants	35
Foundation and Equipment Screening**	Evergreen Shrubs
*One existing natural tree may be used to count toward Yard Tree requirements. Trees must be in good health, must be located in comparable locations to meet the general location for yard trees and must receive ARC approval.	
Palm trees are prohibited within public view. Palms planted must have a mature height of not more than twenty feet (20').	
May increase 5 gal. and decrease 1 gal. shrubs. See Preferred Plant List= Shrubs.	
**Foundation facing the R.O.W. must be screened. To include but not limited to Garages.	

Corner Side Landscape/Landscape Buffer* for All Lots	
30 Gallon Ornamental Trees*	3
5 Gallon Shrubs*	15
*Required for all visible fencing that measures up to sixty feet (60') in length	
Visible Fencing of sixty feet (60') or more in length requires two (2) Landscape Buffer PLUS One 2" Corner Side Tree.	

VI. Construction Guidelines

The following Construction Guidelines (Guidelines) shall apply to any and all work performed on or within the Willowcreek Ranch Development. All Builders shall be bound by any County building codes and all other applicable governing authority.

A. Builder's Compliance

The Builder shall comply with these Guidelines. Non-compliance will result in written notification from the ARC of any observed violation/s via Fax and/or Email to the Field Supervisor and Project Manager. The Builder will have seven (7) calendar days after such notice to correct the violation item/items. If non-compliance item/s are not corrected within the seven (7) days a second written notification will be sent. Failure to address violation notices could affect approval of future submittals.

B. Governing Authority

All Applicants shall comply with the regulations of any governing authority, as well as all applicable Occupational Safety and Health Act Regulations and Guidelines (OSHA).

C. Construction Trailers, Portable Field Offices, Sales Trailers Etc.

Prohibited within Willowcreek Ranch.

D. Debris and Trash Removal

Builders shall clean up all trash and debris on the construction site at the end of each day. Lightweight materials, packaging and other items shall be covered or weighted down to prevent being blown off the construction site. Builders are required to retrieve promptly all trash and debris blown onto streets and neighboring properties. Builders are *prohibited* from dumping, burying or burning trash anywhere within Willowcreek Ranch. During the construction period, each construction site shall be kept neat and clean and shall be properly policed to prevent it from becoming an eyesore or affecting other Lots or any open space. Storage containers or conex boxes may be used for onsite material storage, and must be kept in good condition at all times. The Builder is required to construct a trash containment area, one per Lot, which must be kept neat and orderly at all times. Orange construction fence should be placed on sides and rear of construction Lot to prevent construction debris from blowing into adjacent Lots.

The Builders must clean out the concrete wash-out at intervals of no less than 30 days. Mud and dirt from the construction site on the paved streets of Willowcreek Ranch whether caused by the builder or any of its subcontractors or suppliers shall be promptly removed and streets shall be cleaned by the builder.

E. Sanitary Facilities

Adequate sanitary facilities for Builder's construction workers must be supplied by each Builder. Such facilities shall be located only within an area approved by the ARC. Must be kept in good condition at all time. Replacement required if damaged, or vandalized.

F. Vehicles and Parking Areas

Construction crews shall not park on, or otherwise use, other Lots or any open space. Private and construction vehicles and machinery shall be parked only within areas designated by the ARC. All vehicles must park on pavement in a fashion that will not inhibit traffic. At no time shall vehicles be allowed to park on existing grass, under existing trees and must stay off of and away from tree roots.

Each Builder shall be responsible for assuring that the subcontractors and suppliers obey the speed limits posted within the Development. Adhering to the speed limits should be a condition included in the contract between the Builder and its subcontractors/suppliers. The Builder and its subcontractors/suppliers shall use extreme caution around occupied properties. Resident complaints shall be courteously addressed and resolved quickly. Repeat offenders will be reported to the local County Law Enforcement office. Once occupied properties exist, the developer may restrict parking to one side of the street only.

G. EPA - SWPPP

Each Builder shall comply with the Environmental Protection Agency's Storm Water Pollution Prevention Program (SWPPP) or other governmental authorities on similar issues. SWPPP items that are not in compliance will be required to be corrected within 48 hours of written notice from the POA. Owner/Builder will be responsible for all fees incurred.

H. Excavation Materials

Excess excavation materials shall be hauled away from Willowcreek Ranch and properly disposed of. Failure to do so shall result in the ARC removing the material and charging the expense to the Builder.

1. Excavation materials may not be deposited on any common area or Lots not belonging to that builder.
2. Intention to haul any volume of dirt/spoils to and from a Lot, with scheduled dates, must be submitted to the POA.
3. Builders cited hauling dirt/spoils without providing intent, or providing proper compliance measures will be required to stop hauling operation until intent is filed property.
4. Necessary street sweeping/stabilized access refreshment while hauling will be required to maintain compliance.
5. Hauling of dirt will not be allowed during the weekend beginning every Friday at 5:00pm.

I. Restoration or Repair of Other Property Damages

Damage or scarring of any property outside the construction Lot, including but not limited to roads, driveways, utilities, vegetation and/or other improvements that results from construction operations will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly and at the expense of the Builder. If the Builder fails to restore/repair the damaged area, the ARC may repair the area and impose the expense as a charge against the construction deposit. In the event of default by the Builder in meeting these obligations, or the construction deposit is insufficient to meet the obligation, the Builder shall be responsible and a lien may be recorded against the Lot until paid.

J. Miscellaneous and General Practices

All Builders will be completely responsible for the conduct and behavior of their agents, representatives and subcontractors while in Willowcreek Ranch. The following practices are *prohibited*:

1. Changing oil of any vehicle or equipment on the Lot itself or any other location within Willowcreek Ranch.
2. Allowing concrete suppliers, plasterers, painters or any other subcontractors to clean their equipment anywhere other than designated location(s) approved by the ARC. Such cleaning outside the designated area is strictly *prohibited*. Violation of this provision will result in the repayment of expenses to the ARC for repairing the damage.
3. Removing any rocks, plant material, topsoil or similar items from any property or construction site within Willowcreek Ranch is *prohibited*.
4. Possession of any type of firearms or illegal weapons within Willowcreek Ranch.
5. The use of residents' utilities without their written consent.
6. Using disposal methods or equipment other than those approved by the ARC.
7. Careless disposition of cigarettes or other flammable material. It is recommended that at least three ten pound (10lbs) ABC-rated dry chemical fire extinguishers shall be present and available in a conspicuous place on the construction site at all times.
8. The use of illegal drugs or alcohol is *prohibited*.
9. Destruction or removal of protected plant materials or plants not previously approved by the ARC.
10. No pets, including dogs, may be brought into Willowcreek Ranch by either Builders or construction personnel. In the event of a violation the ARC, Declarant, or the Association has the right to contact authorities to inspect/impound any pet, refuse to permit the Builder or subcontractor involved to continue on the project or to take such other action as permitted by law.
11. Radios and other audio equipment which can be heard outside the construction site.
12. The use of horns not used for traffic safety by any catering trucks. Trash generated by the purchase of items from any catering truck shall be contained and disposed of properly. Repeated problems with these requirements will result in the catering trucks being denied admittance to into Willowcreek Ranch.
13. Builders will be responsible for repair and/or replacement of trees, plants, sidewalks, lights, etc damaged during construction.

K. Construction Access

The only approved construction access during the time a residence or other improvement is under construction will be over the approved driveway for the Lot unless the ARC approves an alternative access point. Must feature culvert and stabilized aggregate construction entrance.

L. Street Cleaning

All streets in front of a construction site are to be free from dirt, debris and spilled concrete. Each builder shall be responsible for street cleaning. All streets must be cleaned weekly or as needed. All streets must be clean each Friday before weekend sales activity.

M. Construction Signage

Unless required by local governing authorities, no construction signs may be posted anywhere in Willowcreek Ranch. The exception being, the ARC may authorize a Builder to post one construction sign per Lot. Such sign and location must be designated and Approved by the ARC.

N. Concrete Washout

”Washout” area, maximum fifteen feet (15') by fifteen feet (15'), must be located within the Builders Lot that is under construction. “Washout” area must be maintained by Builders at all times and cleaned out within 10 days of completion of flatwork.

O. Sediment Control

As soon as possible earthwork commences, sediment control methods shall be installed to filter all storm water runoff from the tract into the public street. Sediment control must be placed at all inlets. The sediment control system must remain in place and in good repair until construction is complete. It may be removed when landscaping is installed and lawns are established. Builders shall conform to all regulatory agencies' rules, regulating standards and criteria governing sediment control to include, but not limited to, EPA-NPDES and Pollution Prevention Plan. Builders shall be responsible for filing and securing all necessary permits.

P. Sand Bags

Sandbags must be placed at the beginning and end of each construction site to contain construction dirt/debris. All inlets must have sandbags and sediment control at all times during construction. Builders shall conform to all regulatory agencies' rules, regulating standards and criteria governing sediment control to include, but not limited to, EPA-NPDES and Pollution Prevention Plan.

Q. Safety fencing

Four foot (4') orange plastic fencing w/metal posts may be used around the homes, trees, or construction debris. Fencing must be properly maintained at all times. Sagging or torn fencing must be repaired or replaced. No other fencing allowed on a construction site.

R. Lot Maintenance

Owners of all Lots shall at all times keep all weeds and grass cut in a low-laying and attractive manner. No Lot may be used for the storage of materials or equipment except for normal residential requirements or incident to construction of improvements is permitted. In such case, all materials and equipment shall be stored so as not to be visible from any street. Debris on all empty Lots must be removed weekly.

S. Illegal Dumping

Dumping of any type onto an empty Lot or construction site is *prohibited*. Building materials that obviously belong to another builder must be picked up by that builder.

T. Stealing

Stealing within Willowcreek Ranch at anytime including and not limited to materials, water or electricity from neighboring/occupied resident Lots will result in fines or legal action. Builders will be responsible for any and all damages.

U. Daily Operation

Daily working hours for each construction site shall be as follows:

Monday – Friday	_____	7 a.m. to 7 p.m.
Saturday	_____	8 a.m. to 6 p.m.
Sunday	_____	9 a.m. to 6 p.m.
Designated Holidays	_____	9 a.m. to 6 p.m.

Construction hours are subject to requirements of applicable City ordinances to change, and will be determined by ARC from time to time.

SAMPLE Compliance Violation Letter

Date _____

(Owner) _____

Certified Mail # _____
Return Receipt Requested

Re: (Property Address) _____

Dear _____:

The Association previously forwarded a notice to you regarding a violation of the Builder Guidelines on the referenced property and requested compliance within _____ (__) days. The violation is as follows:

The _____ (__) day period has expired and the violation has not been corrected. Therefore, you are advised that, unless the violation is corrected within _____ (__) days of the date of this letter, a fine in the amount of \$_____ will be levied against you, as expressly authorized by the Declaration of Covenants, Conditions, and Restrictions for Willow Creek Ranch (the “Declaration”). If you fail to comply within the time provided and a fine is levied, the Declaration provides that the fine will be your personal obligation and payment will be secured by the Association’s lien on your property. Further, if the violation is not corrected within _____ (__) days of the date of this letter, an additional fine in the amount of \$_____ will be levied.

In accordance with Section 209.006 of the Texas Property Code, you are advised that you may request a hearing before the Board of Directors of the Association on or before the 30th day after the date you receive this notice. A request for a hearing must be submitted in writing to the address set forth below. If a hearing is timely requested in writing, you will be notified of the date, time and place of the hearing not later than the 10th day before the date of the hearing.

If you are serving on active military duty, you may have special rights or relief related to enforcement action by federal law, including the Service members Civil Relief Act (50 U.S.C. app. Section 501 et seq.).

This is the final notice that will be forwarded to you prior to the imposition of a fine for non-compliance with the Builder Guidelines.

Very Truly Yours,
[Association]

By: _____

VII. Architectural Review Process

A. Introduction

The official submittal of plans and specifications to the ARC is to provide a review process for conformance to the CCR's and the Guidelines, adopted by the ARC. All new construction, subsequent construction, remodeling with exterior exposure, expansion and demolition of structures must be reviewed and Approved by the ARC prior to commencement of any on-site building or construction activity.

Prior to Construction, all new home plans must be submitted to the Willowcreek Ranch Architectural Review Committee for review. IT IS THE APPLICANTS RESPONSIBILITY TO ENSURE COMPLIANCE WITH THE WILLOWCREEK RANCH DEED RESTRICTIONS AND THE WILLOWCREEK RANCH COMMUNITY DEVELOPMENT GUIDELINES. Builders in Willowcreek Ranch must be Approved Builders, refer the Custom Builder Approval Form to be completed with each Submittal.

The Site plan, architecture and landscape must be Approved in writing by the ARC before construction begins. A Final Review before closing of the property is also mandatory.

Master Plan and Site Plan Submittals must be sent by mail with applicable fees, payable to McCauley Architectural Reviews, Inc. **Pre-Construction and Final Review** requests may be requested via email or fax.

Willowcreek Ranch Architectural Review Committee
13711 Pristine Lake Lane
Cypress Texas 77429
monica@mccauleyarc.com
281-516-3461 (fax)

ARC will review all submittals within fourteen days (14) days of receipt. Submittals will receive either an Approval, Conditional Approval or a Disapproval. A copy of the signed submittal will be emailed/faxed within forty-eight (48) hours of ARC review. Construction may not begin without a signed Approved or Conditionally Approved Submittal.

1. **"Approved"** - The entire application is Approved as submitted.
2. **"Conditional Approval"** - The application is not Approved as submitted. A Conditional Approval is granted with the understanding that all conditions requested by the ARC will be met before, during or after construction. Failure to agree to the Conditions requested will deem the application Disapproved. The Builder may be required to resubmit prior to the construction or alteration in order to receive Approval.
3. **"Disapproved"** - The entire application as submitted is rejected. The ARC may provide comments but is not required to do so. If the ARC fails to respond within twenty-one (21) calendar days, the Builder shall give the ARC written notice of its failure to respond. Unless the ARC responds within an additional ten (10) days of receipt of such notice, approval shall be deemed automatically denied. However, unless the ARC has granted a variance in accordance with the Guidelines, no construction that is inconsistent with the Builder Guidelines will be deemed approved.
4. Reasonable variances may be granted upon written request, as long as the variance is in conformance with the overall intent of the master plan for the improvement and development of the property. All applicants shall comply with the conditions for approval that may be imposed on a variance. Each builder shall address the variance request in writing and the reason(s) why the request should be granted.

Submittal Requirements

Only complete submittals with the attached forms will be reviewed. Builder are responsible for compliance of all governing codes and ordinances.

- **Master Plan Submittal:**

\$450.00 Fee: Includes all elevations per Submittal, Site Plan Review, Preconstruction Review, and first Final Review

Full set of 11x17" plans showing:

- All elevations including Detached Garages and Porte Cocheres
- AC Square Footage
- All Floor Plans, including options and Bonus options
- Roof pitches and plate heights
- All materials to be used on all elevations

- **Site Plan Submittal:**

Site Plan showing:

- Setbacks – Building Lines, R.O.W., Easements
- Fencing – type and placement
- Drive – size, placement and radius
- Sidewalk & Walkway- size and placement
- AC Unit placement
- Driveway /Walkway Paving material
- Exterior Selections – Manufacturer and color
 - Brick/Stucco/Stone
 - Garage, Trim and Shutter
 - Roofing material

- **Pre-Construction Review:**

\$50.00 Fee: Required for all Lots with **existing trees**

- Required for all Lots with existing trees to determine what trees may be saved
- Shall be requested by the Builder prior to any construction on the Lot
- Footprint of the home, driveway, patio, and walkway must be marked with survey tape prior to Review.
- Trees that are six inch (6") caliper or larger and no closer than five feet (5') from the foundation may be required to be saved.
- Trees are measured twelve inches (12") from ground level.
- Trees to be saved will be marked with *pink* survey tape.
- \$1000 Fine for each tree removed without prior written approval.
- \$50 Re-review fee for additional Pre-Construction Review if needed

Site underbrushing, clearing, or home construction may not begin without Master Plan Approval, Site Plan Approval and an Approved PreConstruction Review. SUBSTANTIAL FINES MAY BE LEVIED FOR SITE WORK CONDUCTED WITHOUT PRIOR ARC APPROVAL.

- **Re-Submittals**

\$75.00 Fee: for changes to the original site or plan

- **Final Review:**
First Final Review: Fee included in the Master Plan/Site Plan Review Fee
 - Required for all homes to be sold within Willowcreek Ranch
 - To be requested by the Builder upon completion of each home
- **Final ReReview:**
\$50 Fee: Per ReReview
 - Homes receiving a Conditional Approval or Disapproval require a Re-review
 - Corrections must be done within 10 business days
 - Re-reviews will be conducted to confirm all corrections have been made
- **Changes after Approval**
All proposed changes to plans that affect the exterior of any building, colors, windows, grading, etc., must be submitted to and Approved in writing by the ARC prior to implementation.
 - **\$50 Fee:** For each exterior material and color selection change requested
 - **\$50 Fee:** For all other changes



Custom Master Plan and Site Plan Submittal Form

Prior to Construction, all new home plans must be submitted to the Willowcreek Ranch Architectural Review Committee for review. IT IS THE APPLICANTS RESPONSIBILITY TO ENSURE COMPLIANCE WITH THE WILLOWCREEK RANCH DEED RESTRICTIONS AND THE WILLOWCREEK RANCH COMMUNITY DEVELOPMENT GUIDELINES. Builders in Willowcreek Ranch must be Approved Builders, refer the Custom Builder Approval Form to be completed with each Submittal.

Site underbrushing, clearing, or home construction may not begin without Master Plan Approval, Site Plan Approval and an Approved PreConstruction Review. SUBSTANTIAL FINES MAY BE LEVIED FOR SITE WORK CONDUCTED WITHOUT PRIOR ARC APPROVAL.

Submittals must include this submittal form, Full set of Plans and required Submittal Fee of \$450 payable to McCauley Architectural Reviews, Inc. Submittal fee includes the Master Plan, Site Plan, Pre-Construction and first Final Review. Submittals must be sent to: Willowcreek Ranch ARC, 13711 Pristine Lake Lane, Cypress Texas 77429

Date Submitted: _____ Buyer: _____ \$450 Submittal Fee: _____

Builder Name: _____ Contact Name: _____

Address: _____ E-Mail: _____

Phone Number: _____ Fax Number: _____

Lot#/Block#: _____ Address: _____

MASTER PLAN SUBMITTAL: Include floor plans, square footage, plate height, roof pitch, exterior building materials

			Approved with		
Plan Name/#	Masonry %	Living Sq.Ft.	Approved	Conditions	Disapproved
_____	_____	_____	_____	_____	_____

Comments: _____

Approved: _____ Approved with Conditions: _____ Disapproved: _____

EXTERIOR SELECTIONS: Must include manufacturer and color. Samples may be required			
Masonry Brick/Stucco: _____		Main Paint Color: _____	
Stone: _____		Trim Paint Color: _____	
Garage Doors: _____		Accent Paint Color: _____	
Roof Color/Material: _____		Shutters/etc: _____	
Comments: _____			
Approved: _____		Approved with Conditions: _____	
Disapproved: _____			
_____		_____	
Reviewer	Date	Developer	Date

DRIVEWAY & WASTE/RECYCLE RECEPTACLE (2): Location on Site Plan, setbacks, widths, radius, materials			
Comments: _____			
Approved: _____		Approved with Conditions: _____	
Disapproved: _____			
_____		_____	
Reviewer	Date	Developer	Date

CULVERT & ADDRESS BOULDER (3): Site Plan with culvert location, design, landscape			
Comments: _____			
Approved: _____		Approved with Conditions: _____	
Disapproved: _____			
_____		_____	
Reviewer	Date	Developer	Date

FENCING (4): Site Plan with Fencing placement, materials			
Front Fence: _____		Side Property Line Fence: _____	
Mid Yard Fence: _____		Rear Fence Material: _____	
Additional Fencing: _____		Corner Side Fence: _____	
Safety Fence Material: _____			
Comments: _____			
Approved: _____		Approved with Conditions: _____	
Disapproved: _____			
_____		_____	
Reviewer	Date	Developer	Date

Landscape Plans: Plant types, sizes, location. Utility screening required. Irrigation Plans.			
Comments: _____			
Approved: _____		Approved with Conditions: _____	
Disapproved: _____			
_____		_____	
Reviewer	Date	Developer	Date

ACCESSORY BUILDING/BUILDINGS (5): Must show easements, relevant plat notes, building lines, design and materials			
Front Setback: _____		Rear Setback: _____	
Building Materials: _____		Right Setback: _____	
Roof Material: _____		Left Setback: _____	
Comments: _____			
Approved: _____		Approved with Conditions: _____	
Disapproved: _____			
_____		_____	
Reviewer	Date	Developer	Date

Review and approval of any application may be made on the basis of aesthetic considerations only, and the ARC shall not bear any responsibility for ensuring the structural integrity or soundness of approved plans or construction, nor for ensuring compliance with building codes and other governmental requirements, nor for ensuring that all structures are of comparable quality, value or size, of similar design, or aesthetically pleasing or otherwise acceptable to neighboring property owners.



PRE-CONSTRUCTION SUBMITTAL

All SitePlans and All lots must have pre-construction on site inspection before construction begins. This is to determine which, if any, trees will be left and determine utility placements as it relates to proposed construction. Please make sure house area is marked off and send plot plan indicating all setbacks. Trees 8" (measured 12" above grade) will be marked to save.

Prior to Construction, all new home plans must be submitted to the Willowcreek Ranch Architectural Review Committee for review. IT IS THE APPLICANTS RESPONSIBILITY TO ENSURE COMPLIANCE WITH THE WILLOWCREEK RANCH DEED RESTRICTIONS AND THE WILLOWCREEK RANCH COMMUNITY DEVELOPMENT GUIDELINES. Builders in Willowcreek Ranch must be Approved Builders, refer the Custom Builder Approval Form to be completed with each Submittal.

Site underbrushing, clearing, or home construction may not begin without Master Plan Approval, Site Plan Approval and an Approved PreConstruction Review. SUBSTANTIAL FINES MAY BE LEVIED FOR SITE WORK CONDUCTED WITHOUT PRIOR ARC APPROVAL.

PAYMENT OF THE MARKETING FEE (refer separate form) MUST BE MADE TO CC TELGE, LP PRIOR TO OBTAINING FINAL APPROVAL TO START CONSTRUCTION.

Date Submitted: _____

Builder: _____

Contact: _____ Phone Number: _____

E-mail: _____ Fax Number: _____

Lot/Block/Section: _____ Address: _____

Approved: _____ Approved with Conditions: _____ Disapproved: _____

Comments: _____

Inspected By: _____

Approved By: _____

Inspector Initials

Date

Member, ARC

Date

Call, fax, or e-mail to: Phone: (713) 213-7116 Fax: (281) 516-3461 monica@mccauleyarc.com

WILLOWCREEK RANCH Custom Builder Submittal Form

Builder Company Name: _____
Address: _____
Owner: _____
Office Phone: _____ Cell Phone: _____
Email: _____
Describe your Building Program and experience: _____
Where currently? _____

Inventory? _____

Examples we can view: _____
Completed: _____

Under Construction: _____

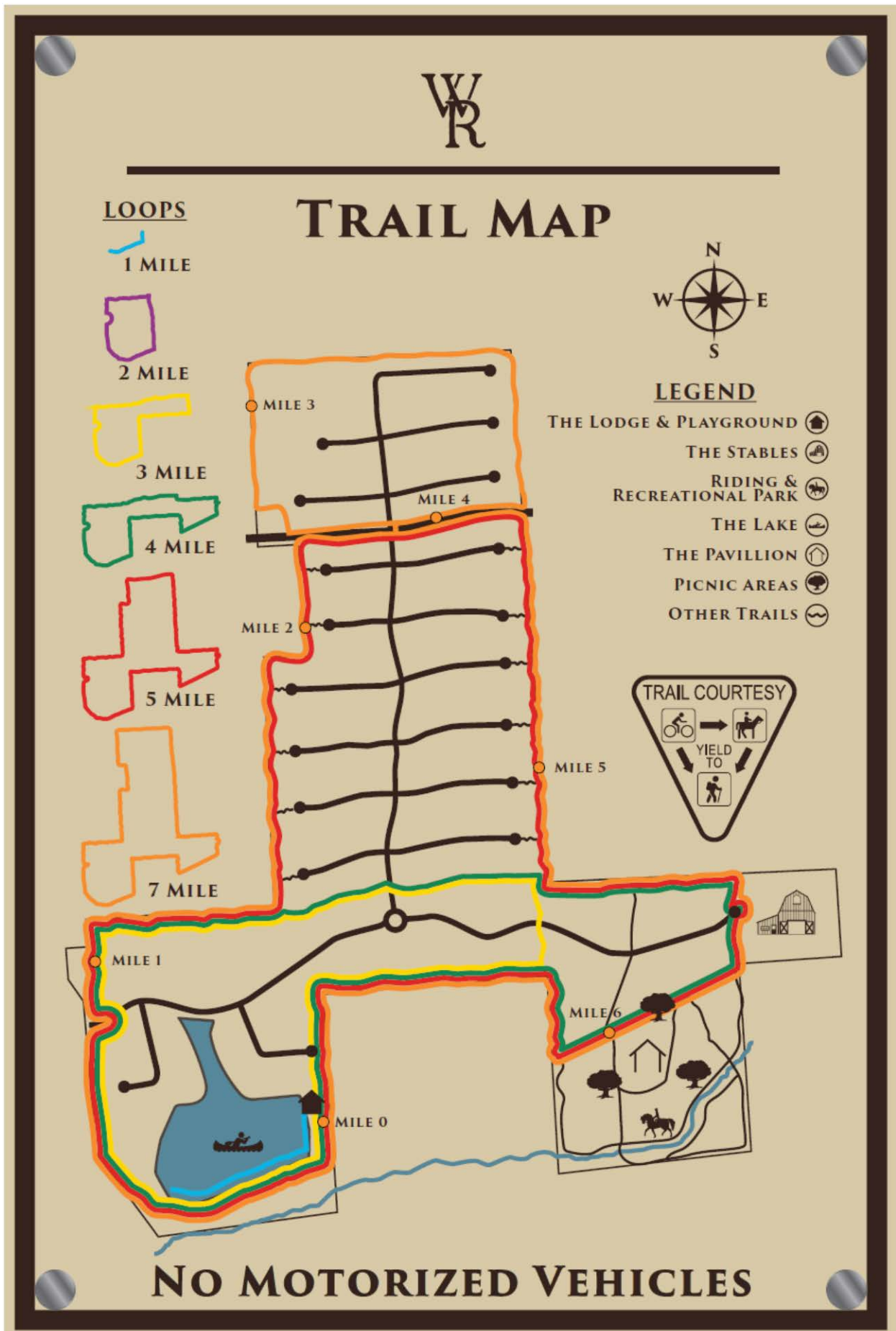
Most recent Homeowner Contact Information: 4 minimum. Attach Reference Letters if available
1 _____
2 _____
3 _____
4 _____
Past Ten Year building History: Please describe _____

Banking References: Please list three banks with loan officer contact information
1 _____
2 _____
3 _____
Legal: Lawsuits: pending and/or settled _____
Liens: pending and/or settled _____
Bankruptcy: _____
Your interest in Willowcreek Ranch: _____
Contract to Build? _____ Buyer? _____ Lot? _____
Describe the home: _____
Spec homes? _____

I agree that, if approved to build in Willowcreek Ranch, that I will be obligated to pay to "CC Telge RD, LP" a fee in the amount of 2% of the total initial "Construction Contract" involving the Homebuyer's primary residence. Along with that fee, I will deliver to the "CC Telge Rd, LP" a signed copy of the Construction Contract before starting any aspect of the sitework, clearing, etc. I agree that the fee will be paid in the actual contract amount or a minimum "Fair Market Value" determined by the ARC using recent sales in the community, whichever is greater. (The fee for "Cost Plus" projects will be assessed by the ARC using their "Fair Market Value" method). I further understand that the approval is for this single project only and in no way indicates my approvability for any future projects in the community.

I attest that the above information is true and correct to the best of my knowledge.

Builder Signature: _____ Date: _____



Barn Examples:

